



# APPLICATION SPECIAL USE PERMIT

## ADMINISTRATIVE CHANGE OF OWNERSHIP OR MINOR AMENDMENT

☒ **Change of Ownership**      ☐ **Minor Amendment**

[must use black ink or type]

**PROPERTY LOCATION:** 2405 Russell Road, Alexandria, 22301

**TAX MAP REFERENCE:** 24.03 12 02

**ZONE:** R-8

### APPLICANT

Name: Allison Morgan

Address: 3510 Cameron Mills Road, Alexandria, VA 22305

### PROPERTY OWNER

Name: Del Ray Baptist Church

Address: 2405 Russell Road, Alexandria, 22301

### SITE USE:

**Business Name:**

**Current:** N/A

**Proposed (if changing):** The Classical Christian

☒ **THE UNDERSIGNED** hereby applies for a Special Use Permit for **Change in Ownership**, in accordance with the provisions of Article XI, Division A, Section 11-503 (5)(f) of the 1992 Zoning Ordinance of City of Alexandria, Virginia.

☒ **THE UNDERSIGNED**, having read and received a copy of the special use permit, hereby agrees to comply with all conditions of the current special use permit, including all other applicable City codes and ordinances.

☐ **THE UNDERSIGNED** hereby applies for a Special Use Permit for **Minor Amendment**, in accordance with the provisions of Article XI, Division A, Section 11-509 and 11-511 of the 1992 Zoning Ordinance of City of Alexandria, Virginia.

☒ **THE UNDERSIGNED**, having obtained permission from the property owner, hereby requests this special use permit. The undersigned also attests that all of the information herein required to be furnished by the applicant are true, correct and accurate to the best of his/her knowledge and belief.

Allison Morgan

Print Name of Applicant or Agent

3510 Cameron Mills Road

Mailing/Street Address

Alexandria, VA

City and State

22305

Zip Code

allison morgan

Signature

202-465-6659

Telephone #

Fax #

amorgan@classicalalexandria.org

Email address

4/21/20

Date

Digitally signed by allison morgan  
Date: 2020.04.21 17:19:46 -0400

### DO NOT WRITE IN THIS SPACE - OFFICE USE ONLY

Application Received: \_\_\_\_\_

Legal advertisement: \_\_\_\_\_

ACTION - PLANNING COMMISSION \_\_\_\_\_

Fee Paid: \$ \_\_\_\_\_

ACTION - CITY COUNCIL: \_\_\_\_\_

The following information must be furnished to the Department of Planning and Zoning to determine if the current use conducted on the premises complies with the special use permit provisions and all other applicable codes and ordinances.

**1. Please describe prior special use permit approval for the subject use.**

Most recent Special Use Permit # 1522-C

Date approved: June / 5 / 1984  
month day year

Name of applicant on most recent special use permit ACDS / Wendy Staub

Use private school

**2. Describe below the nature of the *existing* operation in detail** so that the Department of Planning and Zoning can understand the nature of the change in operation; include information regarding type of operation, number of patrons served, number of employees, parking availability, etc. (Attach additional sheets if necessary.)

Alexandria Country Day School relocated it's operation across the street to it's current campus  
at 2400 Russell Road, Alexandria, 22301

No requested changes to the conditions of the current SUP.

This image shows a single sheet of white paper with horizontal ruling lines. The lines are evenly spaced and run across the width of the page. There are no margins, text, or other markings on the paper.

4. Is the use currently open for business? ☐ Yes ☒ No

If the use is closed, provide the date closed.

\_\_\_\_ / \_\_\_\_ / \_\_\_\_  
month day year

5. Describe any proposed changes to the conditions of the special use permit:

No proposed changes to SUP #1522-C.

6. Are the hours of operation proposed to change? ☐ Yes ☒ No

If yes, list the current hours and proposed hours:

Current Hours:

Proposed Hours:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

7. Will the number of employees remain the same? ☐ Yes ☒ No

If no, list the current number of employees and the proposed number.

Current Number of Employees:

Proposed Number of Employees:

N/A

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8. Will there be any renovations or new equipment for the business? ☒ Yes ☐ No

If yes, describe the type of renovations and/or list any new equipment proposed.

A modular building to the property.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

9. Are you proposing changes in the sales or service of alcoholic beverages? ☐ Yes ☒ No

If yes, describe proposed changes:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

10. Is off-street parking provided for your employees? ☒ Yes ☐ No  
If yes, how many spaces, and where are they located?  
222 parking spots in main lot off  
Russell Road
11. Is off-street parking provided for your customers? ☒ Yes ☐ No  
If yes, how many spaces, and where are they located?  
222 parking spots in main lot off  
Russell Road
12. Is there a proposed increase in the number of seats or patrons served? ☐ Yes ☒ No  
If yes, describe the current number of seats or patrons served and the proposed number of seats and patrons served. For restaurants, list the number of seats by type (i.e. bar stools, seats at tables, etc.)  
  
Current: \_\_\_\_\_ Proposed: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
13. Are physical changes to the structure or interior space requested? ☐ Yes ☒ No  
If yes, attach drawings showing existing and proposed layouts. In both cases, include the floor area devoted to uses, i.e. storage area, customer service area, and/or office spaces.
14. Is there a proposed increase in the building area devoted to the business? ☐ Yes ☒ No  
If yes, describe the existing amount of building area and the proposed amount of building area.  
  
Current: \_\_\_\_\_ Proposed: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
15. The applicant is the (check one) ☐ Property owner ☒ Lessee  
☐ other, please describe: \_\_\_\_\_
16. The applicant is the (check one) \_\_\_\_\_ Current business owner ☒ Prospective business owner  
☐ other, please describe: \_\_\_\_\_

17. Each application shall contain a clear and concise statement identifying the applicant, including the name and address of each person owning an interest in the applicant and the extent of such ownership interest. If the applicant, or one of such persons holding an ownership interest in the applicant is a corporation, each person owning an interest in excess of ten percent (3%) in the corporation and the extent of interest shall be identified by name and address.

For the purpose of this section, the term "ownership interest" shall include any legal or equitable interest held in the subject real estate at the time of the application. If a nonprofit corporation, the name of the registered agent must be provided.

**Please provide ownership information here:**

The Classical Christian Conservatory of Alexandria is a nonprofit corporation.

Registered Agent: Allison Morgan

Board of Directors :

Allison Morgan

Brian Lee

Tess Warmka

Grace MacIntyre

Ann Taylor

Chad Morgan

## **Special Use Permits Eligible for Administrative Approval**

Certain uses of land that have potentially negative impacts on surrounding properties require special use permit approval from City Council. The City Council may impose conditions on the operation of the special use in order to protect the health, safety and welfare of the surrounding area. For new uses and for intensifications or amendments of existing uses, the Planning Commission and City Council conduct public hearings and decide whether to approve the request. The Director of Planning and Zoning, however, may approve a special use permit administratively if it is only a change in ownership or a minor amendment of a previously approved special use permit.

### **Special Use Permit for Change of Ownership**

If the existing special use permit for an operation restricts the ownership of the use, a prospective owner may not take ownership of the operation until he receives special use permit approval for the change of ownership. Pursuant to Section 11-503, the director may approve the change and transfer the special use permit to a new owner, if the following conditions apply:

- 1) The applicant is not requesting a change in the conditions of the special use permit;
- 2) there have been no substantiated violations of the special use permit conditions;
- 3) there are no changes proposed or anticipated in the operation of the use involved;
- 4) the director has concluded that no new conditions or no amendments to existing conditions are necessary; and
- 5) following notice of the application in a newspaper of general circulation in the City, no person has requested that the director forward the application to the Planning Commission or City Council.

If the application does not meet any one of the above conditions, it must be docketed for the next available Planning Commission and City Council public hearings. If the Director approves a special use permit for change in ownership, the new owner must sign an agreement stating that he/she will to continue to comply with the special use permit conditions.

### **Special Use Permit for Minor Amendment**

Pursuant to Sections 11-509 and 11-511 of the zoning ordinance, the director may approve minor amendments to approved special use permits. Only changes that constitute no more than a minimal enlargement or extension of the special use permit or that are so insignificant they will have little or no zoning impact on the surrounding neighborhood are eligible for administrative approval. If a change will intensify the use, it requires Planning Commission and City Council approval. Changes that intensify a use include any increase in the following:

- 1) Hours of operation;
- 2) number of seats;
- 3) number of employees; visitors of customers; or
- 4) number of vehicle trips generated.

The Director may not administratively approve minor amendments if any of the following apply:

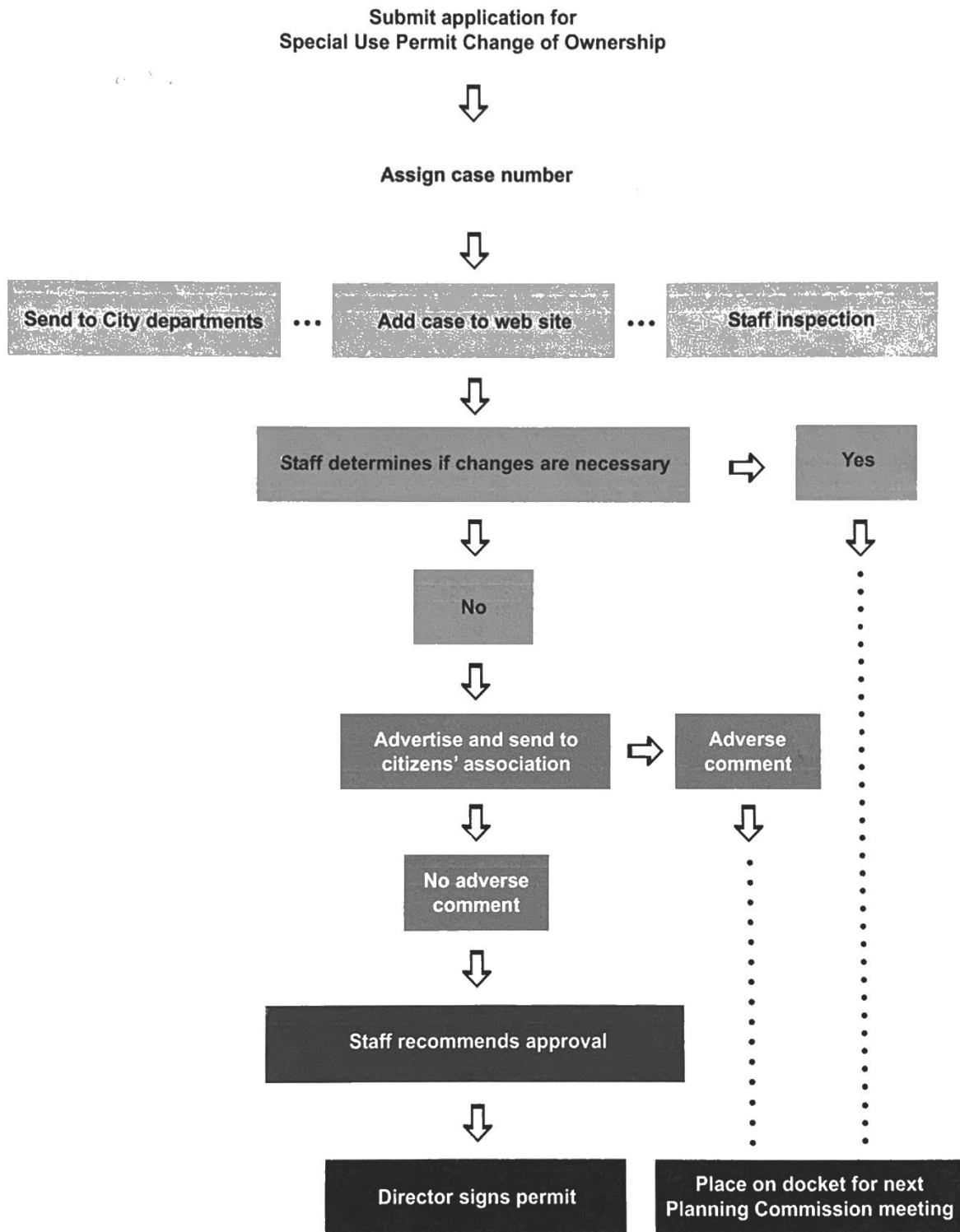
- 1) He/She has received written or oral complaints that the use is in violation of the zoning ordinance;
- 2) at the time the special use permit was approved, opposition was presented to the Planning Commission or City Council; or
- 3) new conditions or amendments to existing conditions are necessary.

Notice of the application is published in a newspaper of general circulation in the City and is sent to docket subscribers.

## **Approval Process**

For both change in ownership and minor amendment special use permits, the approval process generally takes between four and six weeks from the time an application is submitted. During that time, staff will review the application, inspect the subject property for compliance with special use permit conditions and advertise the proposed change in the newspaper to provide an opportunity for citizens to comment on the change and, in the case of minor amendments, send notice to the Planning Commission and City Council members. If the Director determines that the Planning Commission and City Council must consider the application, he/she will docket the application for the next available Planning Commission and City Council hearings. At that time, the Director may require additional information regarding the application.

## PROCESS FLOW CHART: Change of Ownership SUP





○ **Drainage Certification:**

**I hereby certify that the existing and proposed drainage patterns associated with this project are as depicted herein, that construction of this project will not create a nuisance to adjacent or downstream properties either public or private and that any existing drainage problems on adjacent or downstream properties either public or private will not be exacerbated by construction of this project. I acknowledge that should this project result in the creation of any nuisance, or exacerbation of any existing drainage problem, the City will issue a stop work order and work on this project will not be allowed to resume until a Grading Plan has been submitted to and approved by the City of Alexandria, Department of Transportation and Environmental Services.**

○ **Disturbed Area Certification:**

**I hereby certify that the limits of disturbance associated with this project represent a total land disturbance of less than 2,500 square feet. I further certify that no construction work, material storage, dumpster placement, construction access or disturbance of any other kind will take place beyond the limits of disturbance as depicted. I acknowledge that should this project result in land disturbance equal to or greater than 2,500 square feet, the City will issue a stop work order and work on the project will not be allowed to resume until a Grading Plan has been submitted to and approved by the City of Alexandria, Department of Environmental Services.**



BLOCK 14, MT. IDA

UHLER AVE.

BLOCK 15, MT. IDA

S 70° 52' E

505.20'

S 70° 52' E

131.09'

RUSSELL ROAD

4.938 Ac.

# LANDSCAPE PLAN

## LOCATION OF IMPROVEMENTS ON THE LAND OF DEL RAY BAPTIST CHURCH

CITY OF ALEXANDRIA, VA.  
SCALE: 1"=30' MAY 22, 1961

MERLIN F. McLAUGHLIN  
CERTIFIED SURVEYOR  
ANNANDALE, VA.

I hereby certify that I have accurately located the improvements on the above-described land by a transit-tape survey and that unless otherwise shown there are no visible encroachments:

*Merlin F. McLaughlin*  
Certified Surveyor

### Plant List:

Key	Quantity	Botanical Name	Common Name	Size	Condition	Comment
Trees						
QP	2	Quercus palustris	Pin Oak	6-7" cal.	B&B	Fast growing, tolerant of urban conditions and soil types, majestic specimen form, turns dark red in fall. Grows to 75', 50' @ age 30 Cost: 6-7" cal. = \$500 x 2 = \$1000 total or 3.5-4" cal. = \$220
MS	5	Magnolia soulangiana	Saucer Magnolia	6-8' ht.	B&B	Beautiful form, with showy pink blossoms in May, tolerates wide range of soils, human scale. Grows 20-25' tall Cost: 6-8' ht. = \$100 x 5 = \$500 total
AR	4	Acer rubrum 'October Glory'	Red Maple	3-4" cal.	B&B	Pleasing form, provides large canopy for shade, beautiful long lasting red color in fall. Grows to 60', 40' @ age 30 Cost: 3-3.5" cal. = \$180 x 2 = \$360 total 4-4.5" cal. = \$300 x 2 = \$600 total
CK	19	Cornus kousa 'Milky Way'	Kousa Dogwood	6-7' ht.	B&B	Small tree good for underneath overhead wires, white flowers in spring, red in fall, very hardy. Grows to 18' Cost: 6-7' ht. = \$75 x 19 = \$1425 total
Groundcovers						
VM	500?	Vinca minor	Periwinkle	2"	flat	Glossy green groundcover with lavender flowers in spring Cost: \$30 per flat x 10 = \$300
Perennials/Bulbs						
HS	150?	Hemerocallis 'Happy Returns'	Daylily	3 qt.	cont.	Small daylily with showy yellow flowers, blooms longer than any other daylily on the market. Cost: \$3 x 150 = \$450 total
NS	300?	Narcissus species	Daffodil	top size	bulb	Blooms in early spring, fragrant yellow flowers Cost: 10 for \$7 = \$210 total



GENERAL NOTES:	
1.	ACCESS TO BUILDING FOR PERSONS IN WHEELCHAIRS IS DESIGNED BY AND FIELD BUILT BY OTHERS AND SUBJECT TO LOCAL JURISDICTION APPROVAL. THE PRIMARY ENTRANCE MUST BE ACCESSIBLE.
2.	ALL DOORS SHALL BE OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS SHALL NOT BE USED.
3.	ALL GLAZING WITHIN A 24 INCH ARC OF DOORS, WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR, AND ALL GLAZING IN DOORS SHALL BE SAFETY, TEMPERED OR ACRYLIC PLASTIC SHEET.
4.	ALL STEEL STRAPS REFERENCED ON FLOOR PLAN SHALL BE 1.5 INCH x 26 GA. WITH 8 - 15 GA. x 7/16 INCH CROWN x 1 INCH STAPLES EACH END OF STRAP OR EQUIVALENT FROM RIDGE BEAM TO COLUMN, AND COLUMN TO FLOOR.
5.	PORTABLE FIRE EXTINGUISHER PER N.F.P.A. - 10 INSTALLED BY OTHERS ON SITE, AND SUBJECT TO LOCAL JURISDICTION.
6.	PROVISIONS FOR EXIT DISCHARGE LIGHTING ARE THE RESPONSIBILITY OF THE BUILDING OWNER AND SUBJECT TO LOCAL JURISDICTION APPROVAL WHEN NOT SHOWN ON THE FLOOR PLAN (INCLUDING EMERGENCY LIGHTING, WHEN REQUIRED).
7.	WHEN LOW SIDES OF ROOF PROVIDE LESS THAN 6" OF OVERHANG, GUTTERS AND DOWN SPOUTS SHALL BE SITE INSTALLED, DESIGNED BY OTHERS, SUBJECT TO LOCAL JURISDICTION APPROVAL.
8.	WHEN BUILDINGS ARE INSTALLED IN WIND-BORNE REGIONS, EXTERIOR GLAZING SHALL BE IMPACT RESISTANT OR PROTECTED WITH AN IMPACT RESISTANT COVERING, UNLESS INDICATED OTHERWISE IN THE SPECIFICATIONS FOR BUILDING, THE GLAZED OPENING PROTECTION WILL BE PROVIDED BY WOOD STRUCTURAL PANELS WITH A MINIMUM THICKNESS OF 7/16" WHICH ARE PRECUT TO COVER THE GLAZED OPENINGS, AND ATTACHED WITH 2 1/2" x #8 WOOD SCREWS SPACED NOT MORE THAN 9" O.C. THE PRECUT WOOD STRUCTURAL PANELS AND WOOD SCREWS ARE TO BE PROVIDED ON SITE BY THE OWNER, SUBJECT TO LOCAL APPROVAL.
9.	WIND-BORNE DEBRIS REGIONS ARE DESIGNATED IN SECTION 1609 OF THE IBC.
10.	WINDS AND DOORS MUST BE CERTIFIED FOR COMPLIANCE WITH THE WIND DESIGN PRESSURE FOR COMPONENTS AND CLADDING.
11.	STRUCTURAL DETAILS NOT INCLUDED IN THIS PLAN SET ARE TO BE CONSTRUCTED ACCORDING TO THE MANUFACTURERS STATE APPROVED BUILDING SYSTEM MANUAL.
	A FIRE ALARM MUST BE INSTALLED ON SITE BY OTHERS SUBJECT TO LOCAL JURISDICTION APPROVAL.

ELECTRICAL NOTES:	
1.	ALL CIRCUITS AND EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE APPROPRIATE ARTICLES OF THE NATIONAL ELECTRICAL CODE (NEC).
2.	WHEN LIGHT FIXTURES ARE INSTALLED IN CLOSETS THEY SHALL BE SURFACE MOUNTED OR RECESSED. INCANDESCENT FIXTURES SHALL HAVE COMPLETELY ENCLOSED LAMPS. SURFACE MOUNTED INCANDESCENT FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 12 INCHES AND ALL OTHER FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 6 INCHES FROM "STORAGE AREA" AS DEFINED BY NEC 410-8(6).
3.	WHEN WATER HEATERS ARE INSTALLED THEY SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE WATER HEATERS SERVED. THE BRANCH CIRCUIT SWITCH OR CIRCUIT BREAKER SHALL BE PERMITTED TO SERVE AS THE DISCONNECTING MEANS ONLY WHERE THE SWITCH OR CIRCUIT BREAKER IS WITHIN SIGHT FROM THE WATER HEATER OR IS CAPABLE OF BEING LOCKED IN THE OPEN POSITION.
4.	HVAC EQUIPMENT SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE EQUIPMENT SERVED. A UNIT SWITCH WITH A MARKED "OFF" POSITION THAT IS A PART OF THE HVAC EQUIPMENT AND DISCONNECTS ALL UNGROUNDED CONDUCTORS SHALL BE PERMITTED AS THE DISCONNECTING MEANS WHERE OTHER DISCONNECTING MEANS ARE ALSO PROVIDED BY A READILY ACCESSIBLE CIRCUIT BREAKER.
5.	PRIOR TO ENERGIZING THE ELECTRICAL SYSTEM THE INTERRUPTING RATING OF THE MAIN BREAKER MUST BE DESIGNED AND VERIFIED AS BEING IN COMPLIANCE WITH SECTION 110-9 OF THE NEC BY LOCAL ELECTRICAL CONSULTANT.
6.	THE MAIN ELECTRICAL PANEL, AND FEEDERS ARE DESIGNED BY OTHERS, SITE INSTALLED AND SUBJECT TO LOCAL JURISDICTION APPROVAL.
7.	ALL CIRCUITS CROSSING OVER MODULE MATING LINE(S) SHALL BE SITE CONNECTED WITH APPROVED ACCESSIBLE JUNCTION BOXES, OR CABLE CONNECTORS.
8.	ALL RECEPTACLES INSTALLED IN WET LOCATIONS (EXTERIOR) SHALL BE IN WEATHER PROOF (WP) ENCLOSURES, THE INTEGRITY OF WHICH IS NOT AFFECTED WHEN AN ATTACHMENT PLUG CAP IS INSERTED OR REMOVED. THE RECEPT ITSELF SHALL ALSO BE LISTED FOR DAMP AND WET LOCATIONS AS PER 2008 NEC.
9.	EXTERIOR LIGHTS NOT INTENDED FOR 24 HOUR USE SHALL BE CONNECTED TO A PHOTOCELL OR TIMER.
10.	THE BUILDINGS FIRE ALARM SYSTEM (PROTECTIVE SIGNALING SYSTEMS, FIRE DETECTION SYSTEMS, ETC.) SHALL BE DESIGNED IN ACCORDANCE WITH NFPA 701 AND NFPA 72 AND SITE INSTALLED BY OTHERS SUBJECT TO LOCAL BUILDING OFFICIAL REVIEW AND APPROVAL. THE FIRE ALARM CONTROL PANEL MUST BE INSTALLED IN A HIGHLY VISIBLE LOCATION ACCEPTABLE TO THE LOCAL AUTHORITY HAVING JURISDICTION. (THE PACP CANNOT BE INSTALLED IN A CLOSET OR BATHROOM).

PLUMBING NOTES:	
1.	TOILETS SHALL BE ELONGATED WITH NONABSORBENT OPEN FRONT SEATS.
2.	REST ROOM WALLS SHALL BE COVERED WITH NONABSORBENT MATERIAL TO A MINIMUM HEIGHT OF 48 INCHES A.F.F.
3.	FLOORS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 6 INCHES.
4.	PIPING IN UNCONDITIONED SPACES MUST BE PROTECTED WITH INSULATION HAVING A MINIMUM R FACTOR OF 6.5 IN ACCORDANCE WITH SECTION 305.6.
5.	ALL PLUMBING FIXTURES SHALL HAVE SEPARATE SHUTOFF VALVES.
6.	DWV SYSTEM SHALL BE EITHER ABS OR PVC - DWV.
7.	WATER HEATER SHALL HAVE SAFETY PAN WITH 1 INCH DRAIN TO EXTERIOR, T & P RELIEF VALVE WITH DRAIN TO EXTERIOR, AND A SHUT OFF VALVE WITHIN 3 FEET ON A COLD WATER SUPPLY LINE.
8.	WATER CLOSETS ARE TANK TYPE AND URINALS ARE FLUSH TANK TYPE UNLESS OTHERWISE SPECIFIED.
9.	BUILDING DRAIN AND CLEANOUTS ARE DESIGNED AND SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL JURISDICTION APPROVAL.
10.	SHOWERS SHALL BE CONTROLLED BY AN APPROVED MIXING VALVE WITH A MAXIMUM WATER OUTLET TEMPERATURE OF 120°F (48.8°C).
11.	THERMAL EXPANSION DEVICE, IF REQUIRED BY WATER HEATER INSTALLED, AND IF NOT SHOWN ON PLUMBING PLAN, IS DESIGNED AND SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL APPROVAL.
12.	WATER PIPES INSTALLED IN A WALL EXPOSED TO THE EXTERIOR SHALL BE LOCATED ON THE HEATED SIDE OF THE WALL INSULATION. WATER PIPING INSTALLED IN AN UNCONDITIONED ATTIC SHALL BE INSULATED WITH AN INSULATION OF R-6.5 MINIMUM.
13.	THE USE OF THIS BUILDING WITHOUT THE REQUIRED SERVICE SINK IS SUBJECT TO APPROVAL BY AUTHORITY HAVING JURISDICTION.

MECHANICAL NOTES:	
1.	ALL SUPPLY AIR REGISTERS SHALL BE 10 INCHES x 10 INCHES ADJUSTABLE WITH 10 INCHES x 20 INCHES (INSIDE) OVERHEAD FIBERGLASS DUCT, UNLESS OTHERWISE SPECIFIED. DUCTS IN UNCONDITIONED SPACES SHALL HAVE R-6 MINIMUM INSULATION EXCEPT DUCTS EXPOSED TO VENTILATED ATTICS AND GRAFT. SPACES SHALL HAVE R-6.5 INSULATION.
2.	INTERIOR DOORS SHALL BE UNDERCUT 1.5 INCHES ABOVE FINISHED FLOOR FOR AIR RETURN AND/OR AS NOTED ON FLOOR PLAN.
3.	HVAC EQUIPMENT SHALL BE EQUIPPED WITH OUTSIDE FRESH AIR INTAKES PROVIDING 15 CFM FOR EACH OCCUPANT.
4.	RESTROOM VENT FANS SHALL PROVIDE 75 CFM OR MORE EXHAUST PER WATER CLOSET OR URINAL.
5.	EXHAUST FANS SHALL TERMINATE TO EXTERIOR OF BUILDING.

ACCESSIBILITY NOTES:	
1.	THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN SHALL BE DISPLAYED AT ALL ACCESSIBLE RESTROOM FACILITIES AND AT ACCESSIBLE BUILDING ENTRANCES UNLESS ALL ENTRANCES ARE ACCESSIBLE. INACCESSIBLE ENTRANCES SHALL HAVE DIRECTIONAL SIGNS INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE ENTRANCE.
2.	ACCESSIBLE DRINKING FOUNTAINS SHALL HAVE A SPOUT HEIGHT NO HIGHER THAN 36 INCHES ABOVE THE FLOOR AND EDGE OF BASIN NO HIGHER THAN 34 INCHES ABOVE THE FLOOR FOR INDIVIDUALS IN WHEELCHAIRS. ADDITIONALLY, DRINKING WATER PROVISIONS SHALL BE MADE FOR INDIVIDUALS WHO HAVE DIFFICULTY BENDING.
3.	WHERE STORAGE FACILITIES SUCH AS CABINETS, SHELVES, CLOSETS AND DRAWERS ARE PROVIDED AT LEAST ONE TYPE PROVIDED SHALL CONTAIN STORAGE SPACE COMPLYING WITH THE FOLLOWING: DOORS ETC. TO SUCH SPACES SHALL BE ACCESSIBLE (I.E. TOUCH LATCHES, U-SHAPED PULLS); SPACES SHALL BE 15 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FLOOR FOR FORWARD REACH OR SIDE REACH. CLOTHES RODS OR COAT HOOKS SHALL BE A MAXIMUM OF 48 INCHES ABOVE THE FLOOR (46 INCHES MAXIMUM WHEN DISTANCE FROM WHEEL CHAIR TO ROD EXCEEDS 10 INCHES). SHELVES IN KITCHENS OR TOILET ROOMS SHALL BE 40 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE IN FLOOR.
4.	CONTROLS, DISPENSERS, RECEPTACLES AND OTHER OPERABLE EQUIPMENT SHALL BE NO HIGHER THAN 48 INCHES ABOVE THE FLOOR. RECEPTACLES ON WALLS SHALL BE MOUNTED NO LESS THAN 15 INCHES ABOVE THE FLOOR. EXCEPTION: HEIGHT LIMITATIONS DO NOT APPLY WHERE THE USE OF SPECIAL EQUIPMENT DICTATES OTHERWISE OR WHERE ELECTRICAL RECEPTACLES ARE NOT NORMALLY INTENDED FOR USE BY BUILDING OCCUPANTS.
5.	WHERE EMERGENCY WARNING SYSTEMS ARE PROVIDED, THEY SHALL INCLUDE BOTH AUDIBLE AND VISUAL ALARMS. THE VISUAL ALARMS SHALL BE LOCATED THROUGHOUT, INCLUDING RESTROOM, AND PLACED 80 INCHES ABOVE THE FLOOR OR 6 INCHES BELOW CEILING,WHICH- EVER IS LOWER.
6.	ALL DOORS SHALL BE OPENABLE BY A SINGLE EFFORT. DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12 DEGREES SHALL BE 5 SECONDS MINIMUM. THE MAXIMUM FORCE REQUIRED FOR PUSHING OR PULLING OPEN DOORS OTHER THAN FIRE DOORS SHALL NOT EXCEED 5 LBS. FOR ALL SLIDING, FOLDING, AND INTERIOR HINGED DOORS.
7.	FLOOR SURFACES SHALL BE STABLE, FIRM, AND SLIP-RESISTANT. CHANGES IN LEVEL BETWEEN 0.25 INCH AND 0.5 INCH SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2. CHANGES IN LEVEL GREATER THAN 0.5 INCH REQUIRE RAMPS. CARPET PILE THICKNESS SHALL BE 0.5 MAX. GRATINGS IN FLOOR SHALL HAVE SPACES NO GREATER THAN 0.5 INCH WIDE IN ONE DIRECTION. DOORWAY THRESHOLDS SHALL NOT EXCEED 0.5 INCH IN HEIGHT.
8.	ACCESSIBLE WATER CLOSETS SHALL BE 17 INCHES TO 19 INCHES, MEASURED FROM THE FLOOR TO THE TOP OF THE SEAT. GRAB BARS SHALL BE 36 INCHES LONG MINIMUM WHEN LOCATED BEHIND WATER CLOSET AND 42 INCHES MINIMUM WHEN LOCATED ALONG SIDE OF WATER CLOSET, AND SHALL BE MOUNTED 33 INCHES TO 36 INCHES ABOVE THE FLOOR. IN ADDITION, A VERTICAL GRAB BAR 18 INCHES MINIMUM IN LENGTH SHALL BE MOUNTED ON THE SIDEWALL WITH THE BOTTOM OF THE BAR LOCATED BETWEEN 39 AND 41 INCHES ABOVE THE FLOOR, AND WITH THE CENTER LINE OF THE BAR LOCATED BETWEEN 39 INCHES AND 41 INCHES FROM THE REAR WALL.
9.	ACCESSIBLE URINALS SHALL BE STALL-TYPE OR WALL HUNG WITH ELONGATED RIMS AT A MAXIMUM OF 17 INCHES ABOVE THE FLOOR.
10.	ACCESSIBLE LAVATORIES AND SINKS SHALL BE MOUNTED WITH THE RIM NO HIGHER THAN 34 INCHES ABOVE THE FLOOR. KNEE CLEARANCE OF AT LEAST 27 INCHES HIGH MUST BE PROVIDED WITH A MINIMUM DEPTH OF 8 INCHES BENEATH THE FIXTURE, AND 9 INCHES HIGH MINIMUM WITH A MINIMUM DEPTH OF 11 INCHES BENEATH THE FIXTURE. THE KNEE SPACE MUST BE AT LEAST 30 INCHES WIDE.
11.	HOT WATER AND DRAIN PIPES UNDER ACCESSIBLE LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. INSULATION OR PROTECTION MATERIALS MAY BE SITE INSTALLED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER ACCESSIBLE LAVATORIES AND SINKS.
12.	ACCESSIBLE LAVATORIES AND SINKS SHALL HAVE ACCESSIBLE FAUCETS (I.E. LEVER-OPERATED, PUSH TYPE, ELECTRONICALLY CONTROLLED).
13.	MIRRORS LOCATED ABOVE LAVATORIES, SINKS OR COUNTERS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE A MAXIMUM OF 40 INCHES ABOVE THE FLOOR. OTHER MIRRORS IN TOILET ROOMS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 35 INCHES MAXIMUM ABOVE THE FLOOR.
14.	GRAB BARS HAVING A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF 1.25 INCHES MINIMUM AND 2.0 INCHES MAXIMUM. THE SPACE BETWEEN THE GRAB BAR AND THE WALL SHALL BE 1.5 INCHES.
15.	WATER CLOSET FLUSH CONTROL SHALL BE INSTALLED A MAXIMUM OF 36 INCHES ABOVE THE FLOOR AND SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET.
16.	DOORS TO ALL ACCESSIBLE SPACES SHALL HAVE ACCESSIBLE HARDWARE (I.E. LEVER - OPERATED, PUSH-TYPE, U-SHAPED) MOUNTED WITH OPERABLE PARTS BETWEEN 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FLOOR.
17.	TOILET STALL DOORS SHALL BE THE SELF-CLOSING TYPE.
18.	A TOWEL DISPENSER SHALL BE LOCATED ADJACENT TO ALL ACCESSIBLE LAVTORIES.
19.	ACCESSIBLE SHOWERS SHALL BE 36"x36" CLEAR WITH A 36"x48" CLEAR SPACE ADJACENT TO THE SHOWER FOR ACCESS. GRAB BARS SHALL BE INSTALLED ACROSS CONTROL WALL AND 18" OF BACK WALL AT 33" A.F.F. 18" VERTICAL GRAB BAR SHALL BE INSTALLED AT CONTROL WALL ACCORDING TO ANSI 608.1. A SEAT SHALL BE PROVIDED IN ACCORDANCE WITH ANSI 608.4. CONTROLS SHALL BE PROVIDED ON THE CONTROL WALL BETWEEN 38"-48" A.F.F. BETWEEN CENTER OF WALL AND 15" MAX. FROM CENTER (TOWARD OPENING) IN ACCORDANCE WITH ANSI 608.5.

ELECTRICAL SCHEDULE 'A'				
CIRCUIT	NOMENCLATURE	BREAKER (AMPS)	WIRC (CU.)	
1, 3	HVAC	90A(2P)	#8 GRND.	4-2 NM
5, 7	W/H	30A (1P)		10-2 NM
6, 8	RECEPTACLES	20 A		12-2 NM
2, 4	LIGHTING/FAN	15 A		14-2 NM
ELECTRICAL PANEL SIZING:				
DESCRIPTION	PANEL 'A'	KVA		
GENERAL LIGHTING 0.030 KW/SF x 2077SF x 1.25=		7.8		
17_RECEPTS AT 180VA/1000=		3.1		
WATER HEATER 6.5 KW =		6.5		
2_FAN(S) AT .3 KW X 1.25=		.8		
HVAC		15.5		
TOTAL	33.7 KW			
TOTAL/240 X 1000=	141 AMPS			
INSTALL	150 AMP PANEL			
	120/240 V 1ø			

ELECTRICAL SCHEDULE 'B'				
CIRCUIT	NOMENCLATURE	BREAKER (AMPS)	WIRC (CU.)	
1, 3	HVAC	90A(2P)	#8 GRND.	4-2 NM
5, 7	W/H	30A (1P)		10-2 NM
4, 6	RECEPTACLES	20 A		12-2 NM
ELECTRICAL PANEL SIZING:				
DESCRIPTION	PANEL 'B'	KVA		
19_RECEPTS AT 180VA/1000=		3.4		
WATER HEATER 6.5 KW =		6.5		
3_FAN(S) AT .3 KW X 1.25=		15.5		
HVAC				
TOTAL	25.4 KW			
TOTAL/240 X 1000=	107 AMPS			
INSTALL	150 AMP PANEL			
	120/240 V 1ø			

## STRUCTURAL LOAD LIMITATIONS

FLOOR LIVE LOAD:	
A.	40 PSF, 100 PSF CORRIDORS
B.	1000 LB. CONCENTRATED LOAD OVER 30 INCH x 30 INCH AREA LOCATED ANYWHERE ON FLOOR
ROOF LIVE LOAD:	
A.	20 PSF
ROOF SNOW LOAD:	
A.	Pg = 30 PSF GROUND SNOW LOAD
B.	Pf = 23.1 PSF FLAT ROOF SNOW LOAD
C.	Ce = 1.0 SNOW EXPOSURE FACTOR
D.	Ia = 1.0 SNOW IMPORTANCE FACTOR
E.	Ct = 1.1 SNOW THERMAL FACTOR
WIND LOAD:	
A.	130 WIND SPEED
B.	Iw = 1.0 WIND IMPORTANCE FACTOR
C.	C WIND EXPOSURE CATEGORY
D.	Gcpi= 0.18 INTERNAL PRESSURE COEFFICIENT
E.	Pw: ZONE 4: 38.2 PSF ZONE 5: 46.0 PSF
	Pr: ZONE 1: 34.6 PSF ZONE 2: 55.2 PSF ZONE 3: 92.9 PSF
F. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON THE UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT.	
SEISMIC LOAD:	
A.	SEISMIC USE GROUP
B.	SITE CLASS
C.	SEISMIC FORCE RESISTING SYSTEM.
D.	SEISMIC DESIGN CATEGORY
E.	SIMPLIFIED ANALYSIS PROCEDURE
F.	Sds = < .70 SPECTRAL RESPONSE COEFFICIENT
G.	Sd1 = < .80 SPECTRAL RESPONSE COEFFICIENT
H.	V = 4812 LB DESIGN BASE SHEAR
I.	R = 6.5 RESPONSE MODIFICATION COEFFICIENT
FLOOD LOAD: THIS BUILDING IS NOT DESIGNED TO BE LOCATED IN A FLOOD HAZARD AREA.	

SYMBOLS	
	SMOKE DETECTOR
	DUPLEX RECEPTACLE 120 V.
	SINGLE RECEPTACLE 240 V.
	INCANDESCENT LIGHT WITH 1- 60 W. BULB
	VENT FAN
	COMB. VENT FAN & LIGHT
	SUPPLY AIR REGISTER
	RETURN AIR REGISTER
	FLOOD LIGHT 2-150W BULBS
J-BOXES ONLY.	
	FIRE ALARM PULL STATION
	FIRE ALARM HORN/STROBE
	FIRE ALARM STROBE LIGHT
	THERMOSTAT
	FLUORESCENT FIXTURE WITH 2- 32W TUBES
	EXIT SIGNS
	JUNCTION BOX (NON POWERED UNLESS CIRCUIT NO. IS SHOWN)
	TELEPHONE JACK
	SWITCH & 3 WAY SWITCH
	EMERGENCY LIGHT WITH BATTERY BACKUP

ATTENTION LOCAL INSPECTIONS DEPARTMENT	
SITE INSTALLED ITEMS	
THE FOLLOWING ITEMS HAVE NOT BEEN COMPLETED BY THE MANUFACTURER, HAVE NOT BEEN INSPECTED BY RADCO AND ARE NOT CERTIFIED BY THE STATE MODULAR LABEL. NOTE THAT THIS LIST DOES NOT NECESSARILY LIMIT THE ITEMS OF WORK AND MATERIAL THAT MAY BE REQUIRED FOR A COMPLETE INSTALLATION. ALL SITE RELATED ITEMS ARE SUBJECT TO LOCAL JURISDICTION APPROVAL. CODE COMPLIANCE MUST BE DETERMINED AT THE LOCAL LEVEL.	
1. THE COMPLETE FOUNDATION SUPPORT AND TIE DOWN SYSTEM.	
2. RAMPS, STAIRS AND GENERAL ACCESS TO THE BUILDING.	
3. PORTABLE FIRE EXTINGUISHER(S).	
4. SERVICE SINK, BOTTLED WATER, BUILDING DRAINS, CLEANOUTS, AND HOOK-UP TO PLUMBING SYSTEM.	
5. ELECTRICAL SERVICE HOOK-UP (INCLUDING FEEDERS) TO THE BUILDING.	
6. THE MAIN ELECTRICAL PANEL AND SUB-FEEDERS	
7. CONNECTION OF ELECTRICAL CIRCUITS CROSSING OVER MODULE MATELINE(S) - (MULTI-UNITS ONLY).	
8. STRUCTURAL AND AESTHETIC INTERCONNECTIONS BETWEEN MODULES (MULTI-UNITS ONLY).	
9. EXIT DISCHARE LIGHTING (INCLUDING EMERGENCY)	
10. WINDOW AND DOOR HIGH WIND STORM COVERINGS (PER CODE) SEE GENERAL NOTE 8.	
11. FIRE ALARM	
12. FLOOR FINISH	

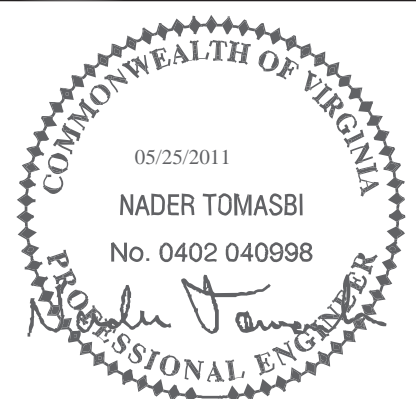
BUILDING DESIGN PARAMETERS	
1. USE/OCCUPANCY:	EDUCATION
2. CONSTRUCTION TYPE:	VB
3. SPRINKLER SYSTEM:	NO
4. BUILDING AREA:	2077 S.F.
5. BUILDING HEIGHT:	≤ 15 FEET
6. NUMBER OF STORIES:	1
7. NUMBER OF MODULES:	4
8. OCCUPANT LOAD ZZ, BASED ON 20__ NET SF/PERSON	
9. EXTERIOR WALL FIRE RATING:	NOT RATED
10. THIS BUILDING MUST BE INSTALLED WITH THE FIRE SEPARATION DISTANCES REQUIRED BY TABLE 602 AND SECTION 704.3 OF THE IBC.	
11. ENERGY CODE COMPLIANCE: SEE ATTACHED ENERGY CALCULATIONS.	
12. MANUFACTURERS DATA PLATE, STATE LABELS AND RADCO LABELS ARE TO BE LOCATED ADJACENT TO ELECTRICAL PANEL.	

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May 26, 2011

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CODE SUMMARY:						
STATE	BUILDING	ELECTRICAL	MECHANICAL	PLUMBING	ACCESSIBLITY	ENERGY CODE
VIRGINIA	2009 VA, UNIFORM STATEWIDE BLDG. CD. 2009 IBC 2009 IFC	2008 NEC	2009 IMC.	2009 IPC	ICC/ANSI 117.1-03	2009 IECC

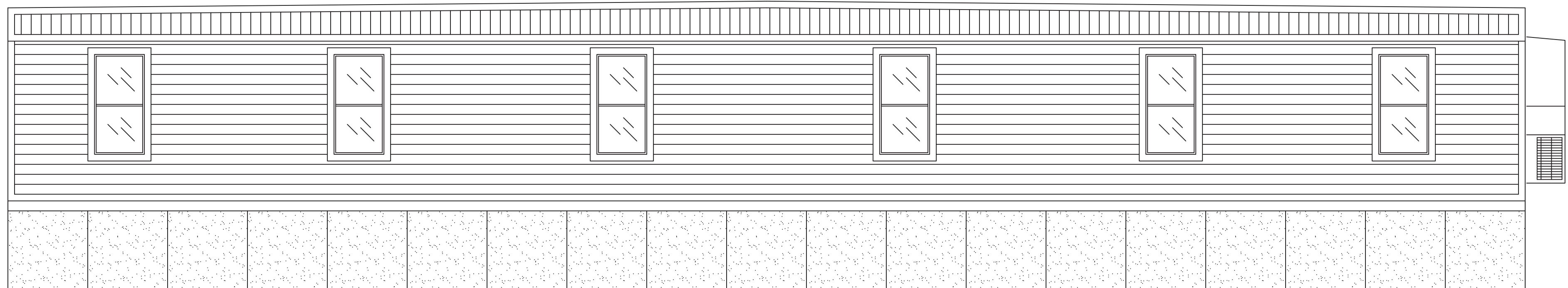
NADER TOMASBI, P.E. — 58665 GLENRIVER DRIVE — GOSHEN, IN. 46528 — 574-370-3419			
		<b>DIAMOND BUILDERS INC.</b> P.O. BOX 2200 DOUGLASS, GEORGIA 31534 440 THOMPSON DR. (912) 384-7080	
		DATE: 5-11-11 SCALE : AS NOTED CODES: SEE NOTES	THIRD PARTY: RADCO 5456 CRENSHAW ST. TAMPA, FLORIDA 33634 813-243-0370
STATES: VA.	REVISIONS:	BY: N.T.	
DBI4699 A-D 28 x 76 EDUCATION		SHEET 1 OF 5	
COVER SHEET		DESTINATION: HAYMARKET	



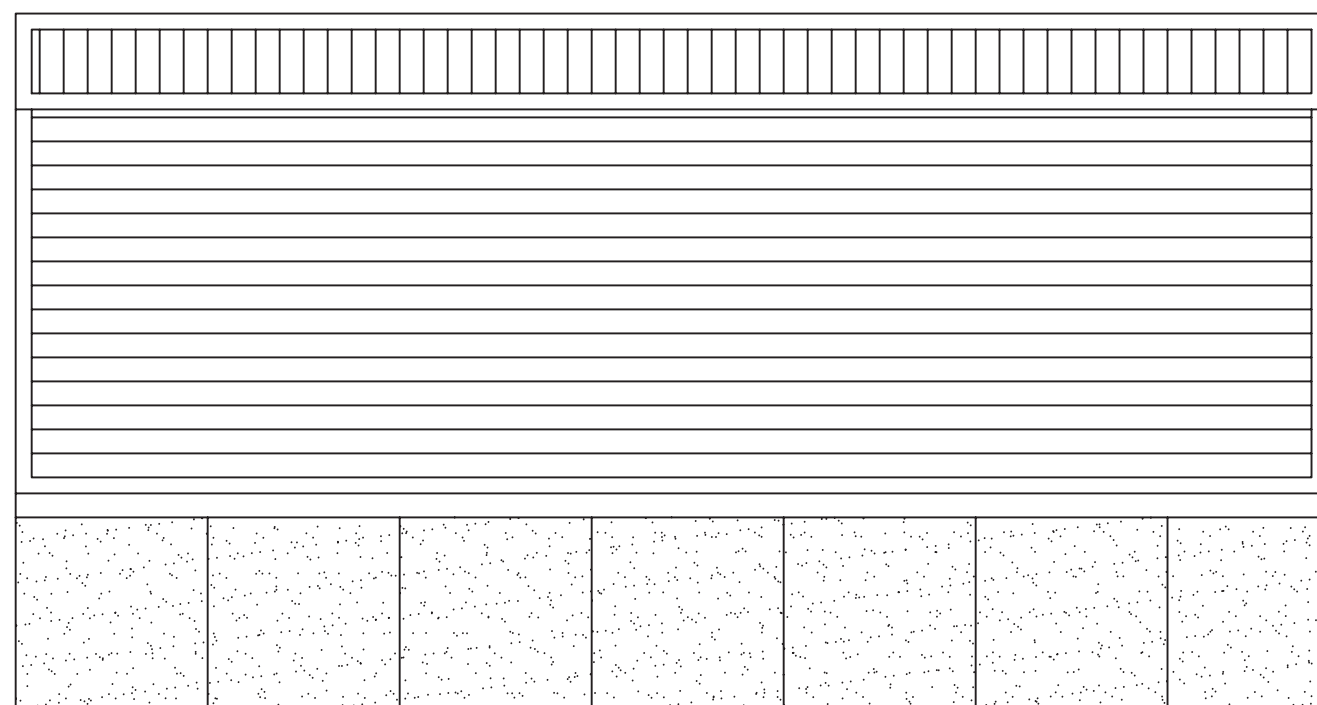




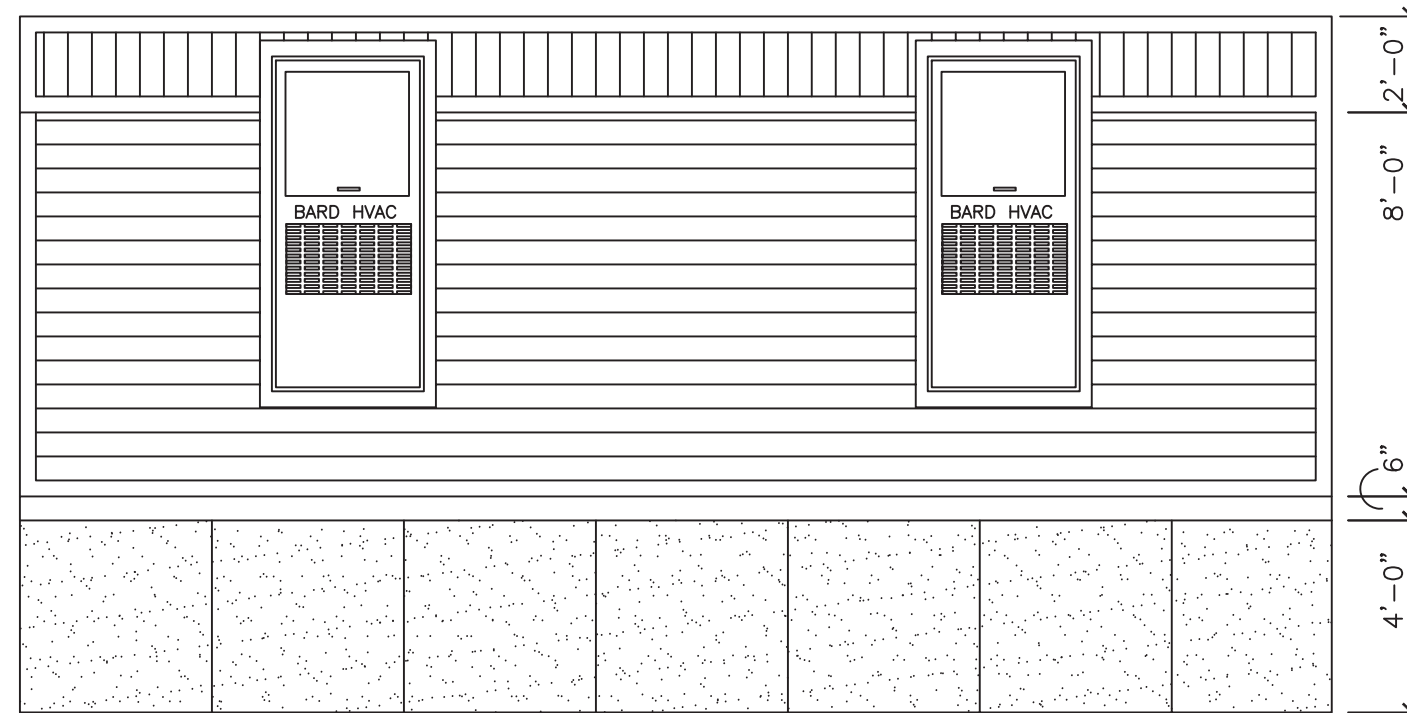
FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

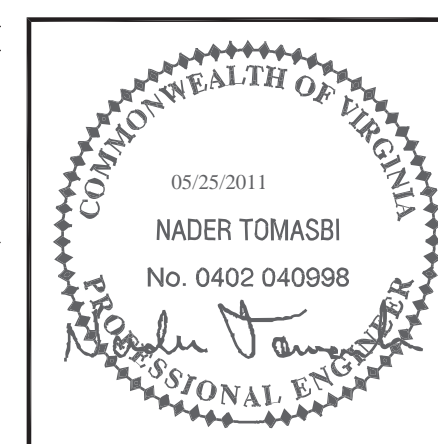



LEFT ELEVATION

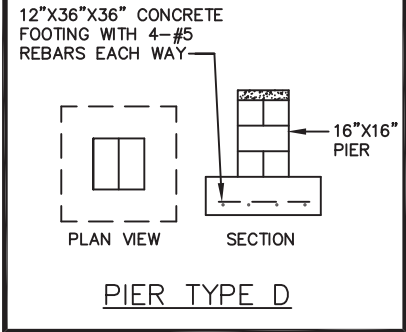
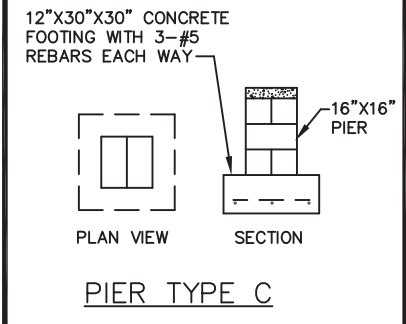
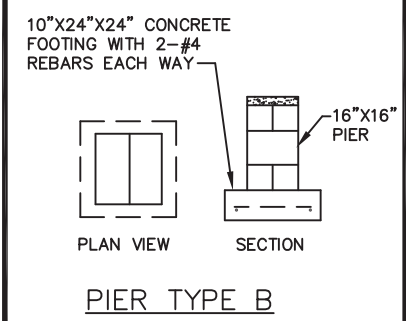
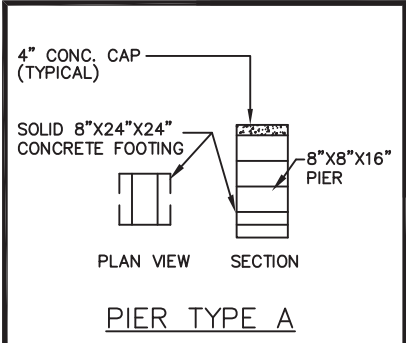
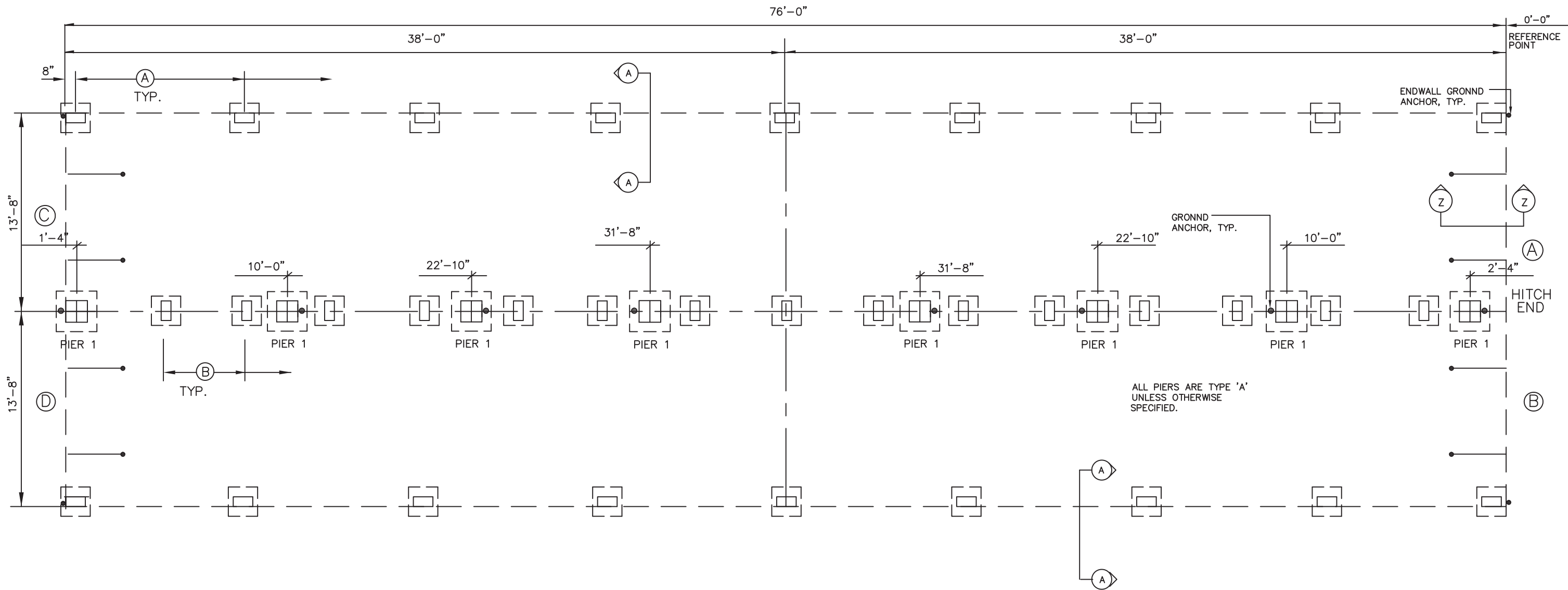
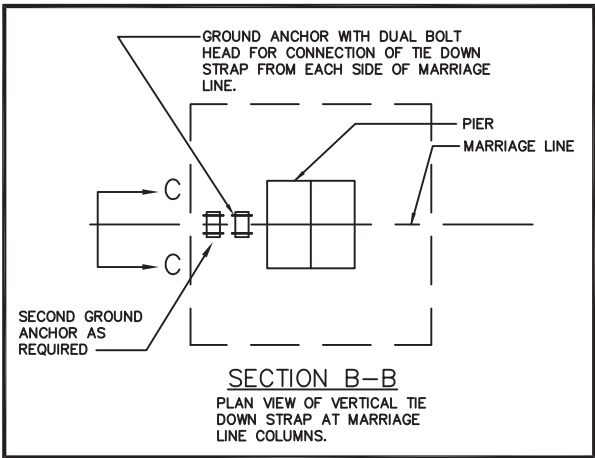
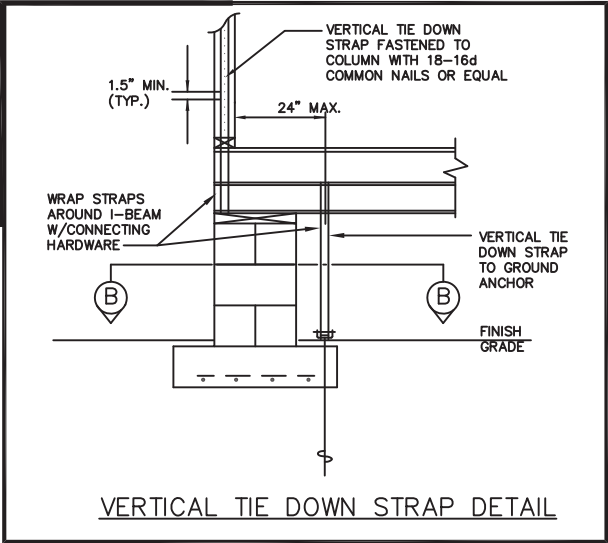
ELEVATION NOTES: TYPICAL  
SEE-CROSS SECTION FOR  
METHOD OF ROOF VENTILATION  
ACCESSIBLE RAMP(S), STAIR(S),  
AND HANDRAILS ARE SITE  
INSTALLED, DESIGNED BY OTHERS,  
AND SUBJECT TO LOCAL JURISDICTION.  
FOUNDATION ENCLOSURE  
(WHEN PROVIDED) MUST HAVE  
1 SQUARE FOOT NET VENT AREA  
PER 1/150TH OF THE FLOOR AREA,  
AND AN 18" X 24" MINIMUM CRAWL  
SPACE ACCESS, SITE INSTALLED BY  
OTHERS SUBJECT TO LOCAL  
JURISDICTION.

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SCALE : 1/4"=1'-0"			
CODES: SEE NOTES			
STATES: VA.	REVISIONS:	BY: N.T.	
DBI4699 A-D 28 x 76 EDUCATION		SHEET	
ELEVATIONS		DESTINATION: HAYMARKET	3 OF 5

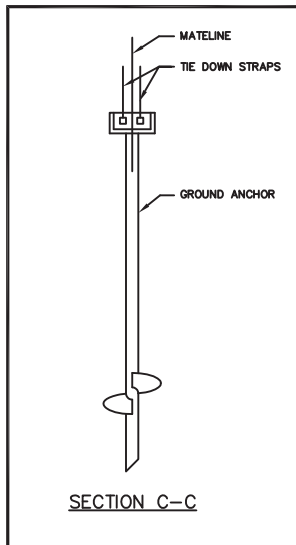
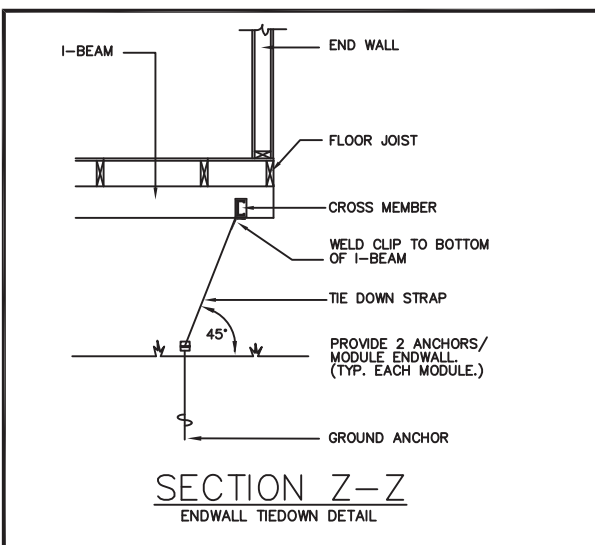
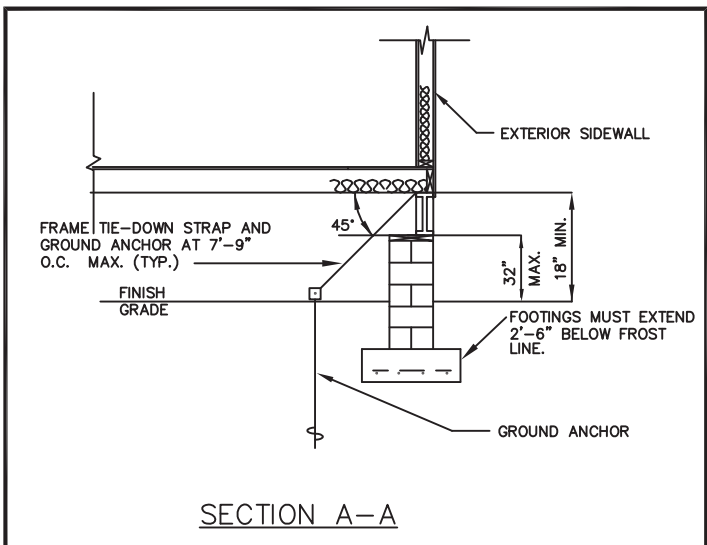


FOUNDATION DIMENSIONS		
MAXIMUM PIER SPACING		MINIMUM SOIL BEARING CAPACITY
(A) SIDEWALLS	(B) MATELINE	
8'-6"	4'-3"	2000 PSF
8'-6"	4'-3"	3000 PSF

#### FOUNDATION NOTES:

- ALL FOUNDATION CONSTRUCTION, MATERIALS, AND INSTALLATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
- TIE-DOWN STRAPS TO BE 1-1/4"x .035" TYPE-1, FINISH B, GRADE 1 ZINC COATED STEEL STRAPPING CERTIFIED BY A REGISTERED ENGINEER OR ARCHITECT AS CONFORMING WITH ASTM D3953-91. TIE DOWN STRAPS AND CONNECTING HARDWARE SHALL HAVE 3150# MINIMUM WORKING CAPACITY.
- EACH GROUND ANCHOR SHALL HAVE A WORKING CAPACITY NO LESS THAN THE SUM OF THE REQUIRED WORKING CAPACITIES OF ALL TIE DOWN STRAPS CONNECTED TO THE GROUND ANCHOR, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. DESIGN OF GROUND ANCHOR, INCLUDING SHAFT LENGTH, NUMBER AND DIAMETER OF HELIXES, ETC., TO BE AS SPECIFIED BY THE GROUND ANCHOR MANUFACTURER FOR THE ACTUAL SOIL TYPE ENCOUNTERED. IF THE HOLDING OR PULLOUT CAPACITIES OF GROUND ANCHORS ARE BELOW THE ASSUMED DESIGN VALUES, THE ARCHITECT/ENGINEER MUST BE CONSULTED FOR AN ALTERNATE ANCHORAGE DESIGN.
- THE FIRST TIE-DOWN STRAP FROM ENDWALLS SHALL NOT EXCEED 1/2 THE MAXIMUM SPACING INDICATED.
- ALL PIERS SHALL BE CONSTRUCTED OF CONCRETE MASONRY UNITS CONFORMING TO ASTM C90. MASONRY UNITS SHALL BE LAID IN TYPE M OR S MORTAR OR COVERED WITH SURFACE BONDING CEMENT INSTALLED IN ACCORDANCE WITH ITS LISTING. PIER FOOTINGS SHALL BE AS DESCRIBED ABOVE.
- MINIMUM CONCRETE FOOTING COMPRESSIVE STRENGTH 2,500 PSI AT 28 DAYS.
- ALL REINFORCEMENT BARS SHALL COMPLY WITH ASTM A615, GRADE 60. REINFORCEMENT BARS SHALL BE EQUALLY SPACED AND PLACED WITH 3" CLEARANCE FROM BOTTOM AND SIDES OF THE FOOTING.
- SEE SHEET 1 OF 5 FOR BUILDING DESIGN LOADS
- I-BEAM SUPPORT PIERS MAY BE INSTALLED Laterally (90° FROM THE ORIENTATION SHOWN ON THE FOUNDATION PLAN). CENTERLINE OF EACH PIER MUST BE LOCATED DIRECTLY BELOW THE I-BEAM CENTERLINE.
- SOIL BEARING CAPACITY SHOWN ON THIS PLAN IS ASSUMED. IF THE ACTUAL SOIL BEARING CAPACITY IS LESS THAN 2,000 PSF, THE ARCHITECT/ENGINEER MUST BE CONSULTED FOR REQUIRED ALTERNATE FOUNDATION DESIGN. FOOTINGS SHALL BE PLACED ON NON-EXPANSIVE SOILS ONLY.
- INSTALL BLOCK PIER ON EACH SIDE OF ALL EXTERIOR DOOR OPENINGS. (MANUFACTURER'S RECOMMENDATION ONLY - OPTIONAL WHEN NOT SHOWN) SLIGHT ADJUSTMENT MAY BE REQUIRED TO INSURE OPENABILITY AFTER INSTALLATION OF BUILDING IS COMPLETE.

MARRIAGE WALL PIER REQUIREMENTS			
PIER NUMBER	MINIMUM SOIL BEARING CAPACITY	PIER TYPE	NUMBER OF VERTICAL TIE DOWN STRAPS REQ'D (EACH MODULE)
1	2000 PSF	D	1
	3000 PSF	C	1
	2000 PSF		
	3000 PSF		

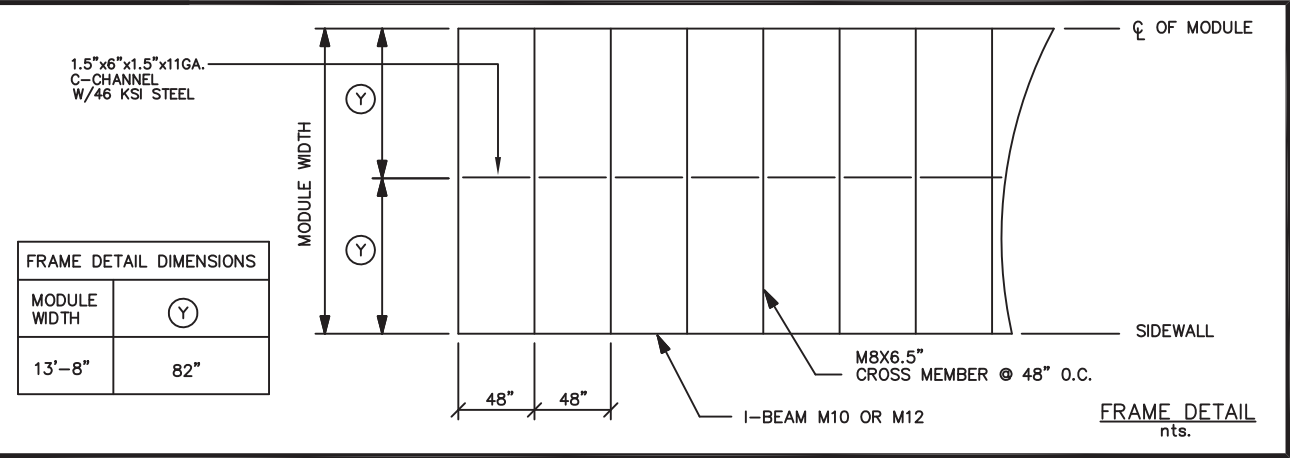


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NOTE:  
THIS FOUNDATION PLAN IS PROVIDED FOR REFERENCE AS A TYPICAL STANDARD. ACTUAL FOUNDATION CONDITIONS MUST BE EVALUATED FOR APPLICABILITY IF THIS PLAN IS TO BE USED. ALTERNATE FOUNDATION PLANS MAY BE DESIGNED BY OTHERS IN ACCORDANCE WITH THE REQUIREMENTS OF THE JURISDICTION HAVING AUTHORITY.

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		DATE: 5-11-11 SCALE : NO SCALE CODES: SEE NOTES STATES: VA.	THIRD PARTY: RADCO 5456 CRENSHAW ST. TAMPA, FLORIDA 33634 813-243-0370 REVISIONS: BY: N.T.
DBI4699 A-D 28 x 76 EDUCATION		FOUNDATION PLAN	SHEET 4 OF 5

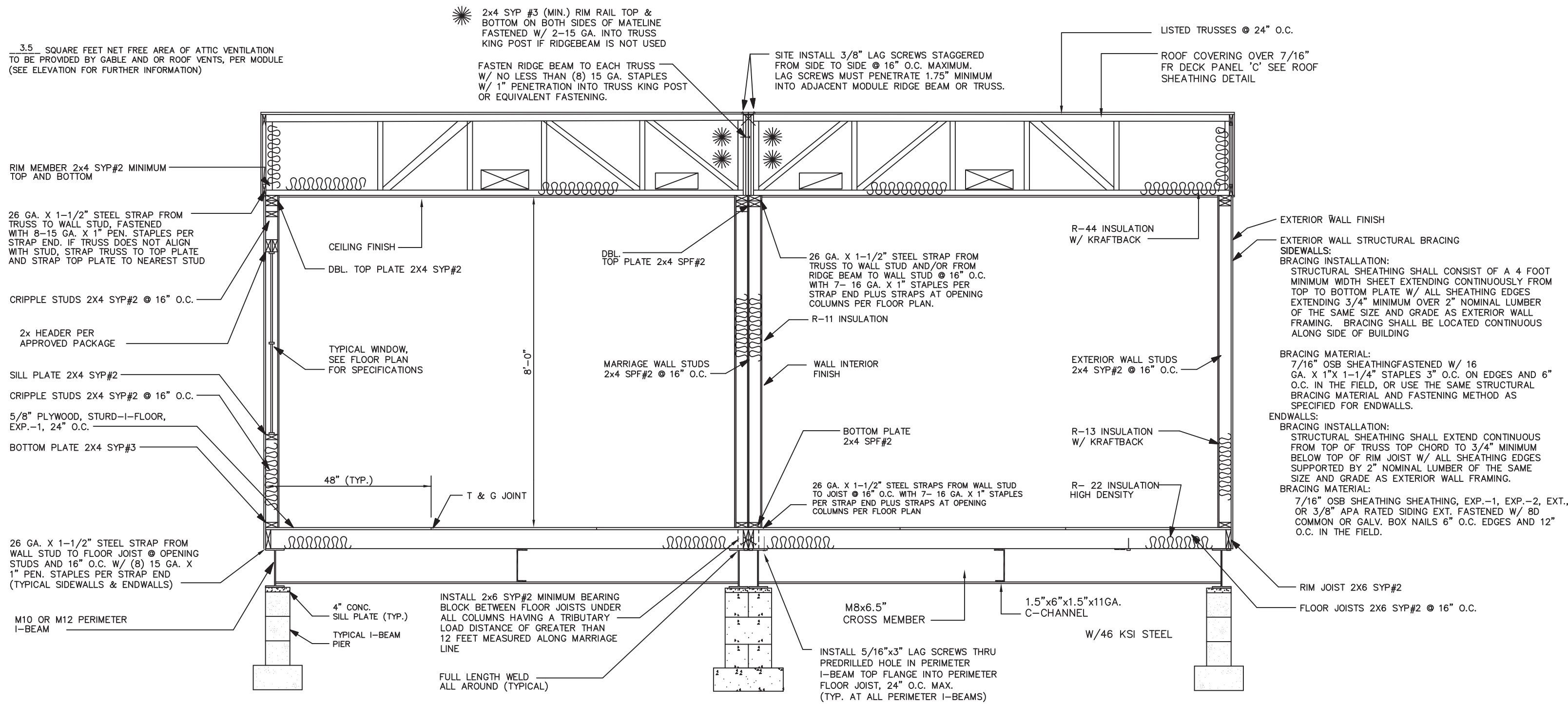
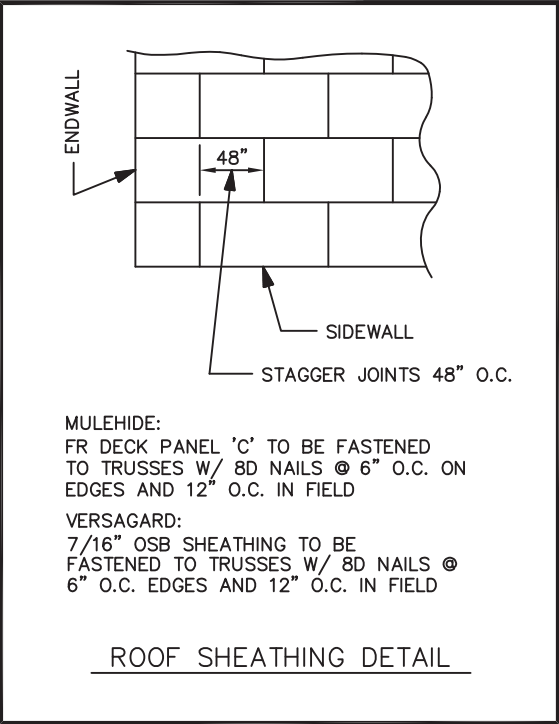




APPROVED TRUSS DESIGN:

TRUSS MANUF.: UNIVERSAL

TRUSS NO. F063109



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May 26, 2011

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### RIDGE BEAM CONSTRUCTION:

3 LAYERS 3/4"x 24" PLYWOOD, RATED SHEATHING, EXP.-1, STRUCT.-1, 5 PLY/5 LAYER, 48/24 EACH HALF CONTINUOUS ENTIRE LENGTH OF BUILDING.

#### NOTES:

- PLYWOOD FACE GRAIN MUST BE PARALLEL TO THE RIDGE BEAM SPAN.
- ALL PLYWOOD BUTT JOINTS MUST BE STAGGERED 24" MINIMUM.
- ALL RIDGE BEAM PLYWOOD LAMINATIONS MUST BE THE SAME DEPTH, THICKNESS, AND GRADE OF PLYWOOD. NO LUMBER OR PLYWOOD FLANGES ARE PERMITTED.
- PLYWOOD MUST BE MANUFACTURED IN ACCORDANCE W/ PS I-95.
- PLYWOOD LAMINATIONS IN EACH HALF OF THE UNITS MUST BE GLUE NAILED TO ADJACENT LAYERS IN ACCORDANCE W/ PDS SUPPLEMENT #5, W/ AN ADHESIVE COMPLYING W/ ASTM D2559, OR CA25-4.
- PLYWOOD MUST NOT BE TREATED W/ A FIRE RETARDANT PROCESS.
- MOISTURE CONTENT MUST BE LESS THAN 16%.
- BEAMS SUPPORTED BY ENDWALL COLUMNS MUST EXTEND CONTINUOUS OVER COLUMNS TO EXTERIOR FACE OF ENDWALL.
- INSTALL (2x4) X 20" SPF#3 RIDGE BEAM BEARING STIFFENER OVER SUPPORT COLUMNS, WHEN SPECIFIED ON FLOOR PLAN; FASTEN THE FACE OF THE STIFFENER TO THE RIDGE BEAM W/ 100% GLUE COVERAGE AND (6) 16 GA. X 2-1/2" STAPLES.

### INTERIOR FINISH MATERIAL:

CEILING - 1/2" GYP. BOARD CEILING INSTALLED PER MANUFACTURER'S SPECIFICATIONS (SEASPRAY FINISH)

CORRIDOR 5/8" TYPE 'X' GYP. BOARD INSTALLED PER MANUFACTURER'S SPECIFICATIONS

WALL - 1/2 INCH MINIMUM GYPSUM BOARD (VINYL COVERED THROUGHOUT)

CORRIDOR 5/8" TYPE 'X' GYP. BOARD INSTALLED PER MANUFACTURER'S SPECIFICATIONS

FLOOR - AS NOTED ON PLAN.

NOTE: INTERIOR FINISHES SHALL BE CLASS 'C' OR BETTER.

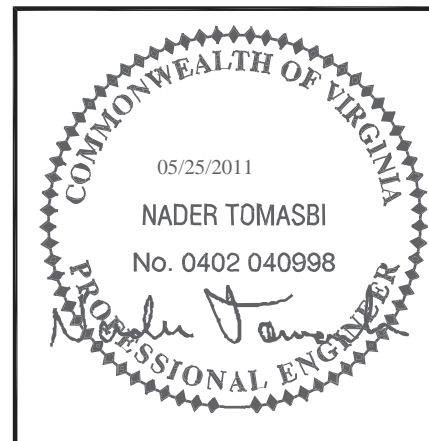
### EXTERIOR FINISH MATERIAL:


ROOF - MULE-HIDE 45 MIL (BLACK) EPDM FULLY ADHERED IN ACCORDANCE WITH ER-5867 OVER 7/16" MULE-HIDE FR DECK PANEL 'C' INSTALLED PER MANUFACTURERS SPECIFICATIONS.

ROOF - 45 MIL VERSAGARD EPDM (BLACK) FULLY ADHERED TO 1/4" DENSDECK. DENSDECK FASTENED TO MINIMUM 7/16" OSB SHEATHING ACCORDING TO APPROVED STRUCTURAL PACKAGE.

WALL - V-LAP (HORZ) SIDING OVER APPROVED MOISTURE BARRIER.

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CROSS SECTION		DESTINATION: HAYMARKET	